



**SPECIAL MEETING  
OF THE RESTAURANT SUBCOMMITTEE  
OF THE ARCHITECTURAL COMMISSION**

**City of Beverly Hills**  
Teleconference / Video Conference Meeting  
455 North Rexford Drive  
Beverly Hills, CA 90210

**Tuesday, August 17, 2021  
1:00 PM**

*Pursuant to Executive Order N-25-20, members of the Restaurant Subcommittee of the Architectural Commission and staff may participate in this meeting via a teleconference. In the interest of maintaining appropriate social distancing, members of the public can participate in the teleconference/videoconference by using this link: <https://www.gotomeet.me/CBHCD/subcom> (no password required), or by phone at 1-866-899-4679 or 1-571-317-3116, Access Code #576-863-781. Written comments may be emailed to [commentAC@beverlyhills.org](mailto:commentAC@beverlyhills.org) and will be read at the meeting.*

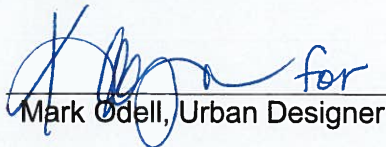
**SPECIAL MEETING AGENDA**

**1. Public Comment**

**2. 9737 SOUTH SANTA MONICA BOULEVARD  
Ververie (PL2100259)**

Request for approval of an architectural review to allow façade modifications, a Business Identification Sign, and an outdoor dining area. Pursuant to the provisions set forth in the California Environmental Quality Act (CEQA), the Restaurant Subcommittee of the Architectural Commission will also consider finding the project exempt from further review under CEQA.

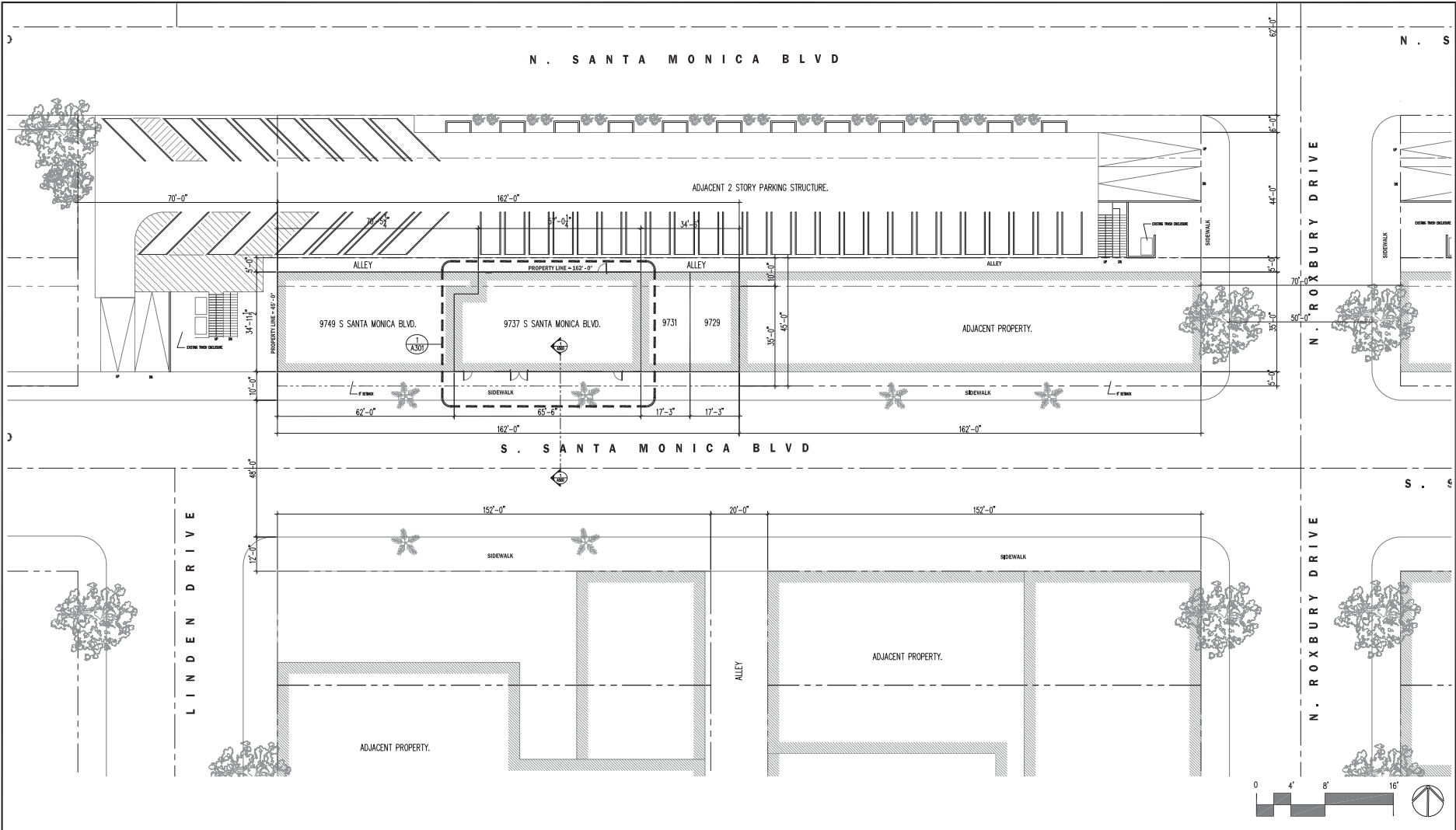
**3. Adjournment**

  
\_\_\_\_\_  
Mark Odell, Urban Designer

**Posted: August 11, 2021**



Pursuant to the Americans with Disabilities Act, the City of Beverly Hills will make reasonable efforts to accommodate persons with disabilities. If you require special assistance please call (310) 285-1126 (voice) or (310) 285-6881 (TTY). Providing at least forty-eight (48) hours advance notice will help to ensure availability of services.



**PROPOSED SITE PLAN** SCALE: 1/16" = 1'-0" **1**

1. DRAWINGS ARE ONLY REPRESENTATIVE OF CRITICAL DIMENSIONS, LAYOUT AND CLEARANCES. ALL FINISHES, MATERIALS, DETAILS TO BE VERIFIED WITH I.D. DRAWINGS DURING CONSTRUCTION.
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	BUILDINGS
	GRASS
	CONCRETE
	ASPHALT
	HARDSCAPE

**GENERAL NOTES**

**SYMBOL LEGEND**

**sda**  
CREATIVE STUDIO

4195 Chino Hills Pkwy, Suite 599  
Chino Hills, CA 91709  
Contact: Keyur Manu  
714.390.0525  
kmanu@sajinpsdesign.com

Client:  
**Gregg Strumpf**

9737 S. Santa Monica Blvd,  
Beverly Hills, CA 90201  
gregg@callegacy.net  
908.590.2026

Project:  
**VELVERIE**  
café and tea house

9737 S. Santa Monica Blvd,  
Beverly Hills, CA 90201

Resident:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
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Stamp:

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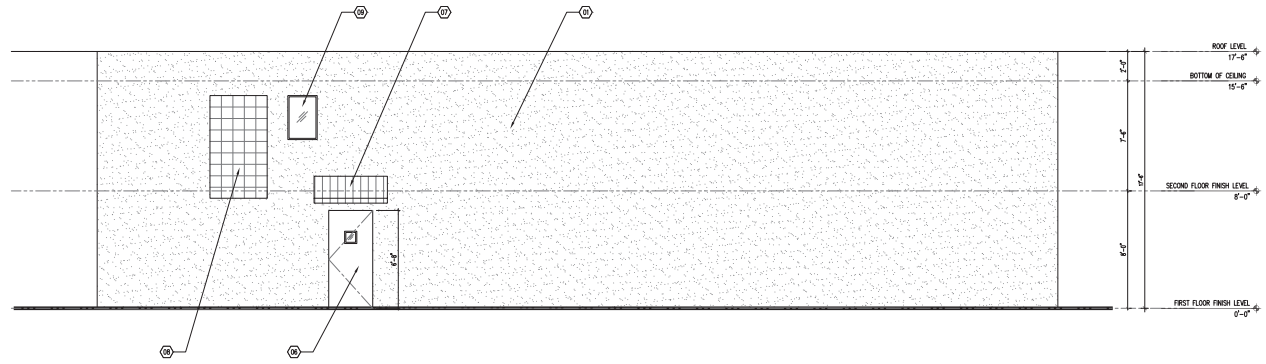
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Drawing Date:  
Project No: 210524  
Issue Date: 05.24.2021  
Scale: As Noted  
Drawn By: KM  
Sheet Size: 24" x 36"

If sheet is less than size indicated above, title to be a reduced print. Reduce scale accordingly.

Sheet:  
**Proposed Site Plan**

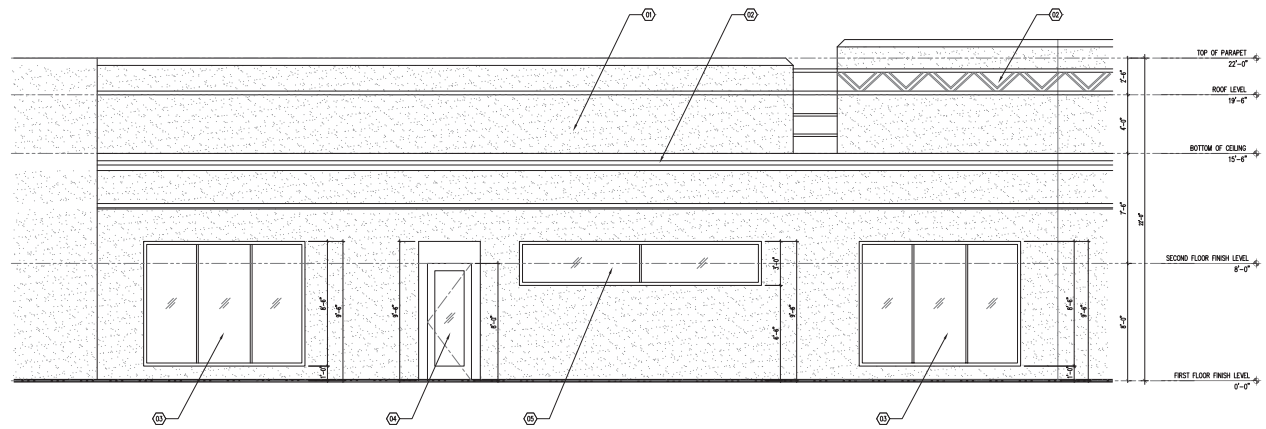
**A200**



**EXISTING SOUTH ELEVATION**

SCALE:  
1/4" = 1'-0"

**2**



**EXISTING NORTH ELEVATION**

SCALE:  
1/4" = 1'-0"

**1**

- |   |                         |
|---|-------------------------|
| 01 EXISTING TROWEL FINISH STUCCO FINISH   | 06 EXISTING METAL GRILL |
| 02 EXISTING STUCCO TRIMS                  | 07 EXISTING WINDOW      |
| 03 EXISTING WINDOWS                       |                         |
| 04 EXISTING ALCOVE WITH FRENCH ENTRY DOOR |                         |
| 05 EXISTING CLEAR-STORY WINDOWS           |                         |
| 06 EXISTING METAL EXIT DOOR               |                         |
| 07 EXISTING METAL AWNING                  |                         |

**KEYNOTES**

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**GENERAL NOTES**

Client:

**Gregg Strumpf**

9737 S. Santa Monica Blvd,  
Beverly Hills, CA 90201

gregg@callegacy.net  
908.590.2026

Project:

**VELVERIE**  
café and teahouse

9737 S. Santa Monica Blvd,  
Beverly Hills, CA 90201

Residence:

Stamp:



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Project No. 210524

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Drawn By KM

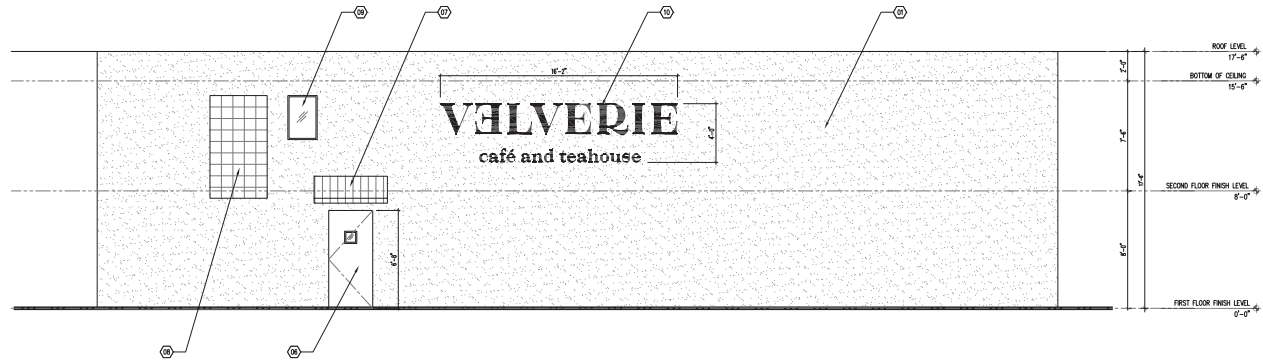
Sheet Size 24" x 36"

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Sheet:

**Proposed Elevations**

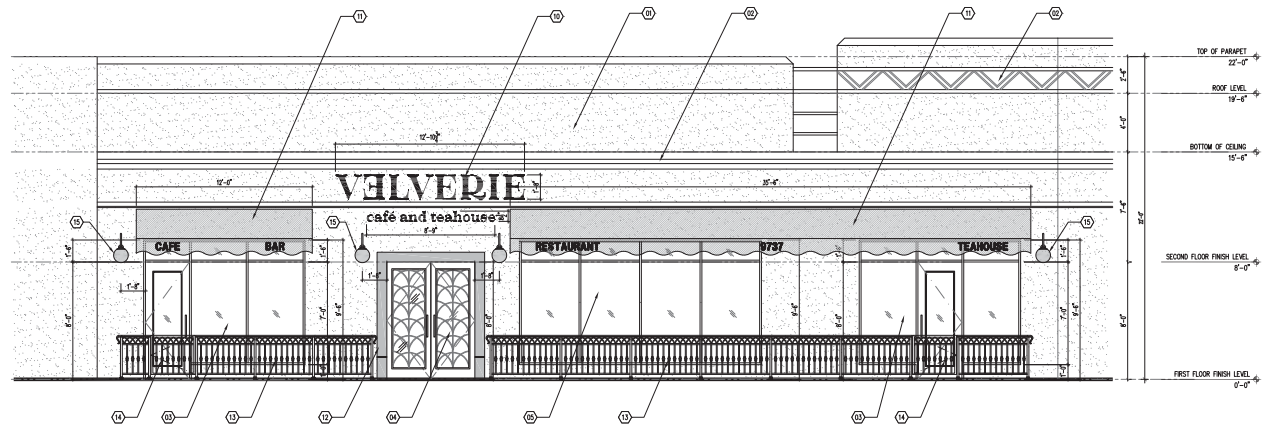
**A401**



**PROPOSED SOUTH ELEVATION**

SCALE:  
1/4" = 1'-0"

**2**



**PROPOSED NORTH ELEVATION**

SCALE:  
1/4" = 1'-0"

**1**

- 01 EXISTING TROWEL FINISH STUCCO FINISH TO BE RE-FINISHED TO SMOOTH SAND-FINISH STUCCO. WALLS TO BE RE-PAINTED, COLOR: SW 7006 - EXTRA WHITE.
- 02 EXISTING STUCCO TRIMS TO BE RE-FINISHED TO SMOOTH SAND-FINISH STUCCO. WALLS TO BE RE-PAINTED, COLOR: SW 7006 - EXTRA WHITE.
- 03 EXISTING WINDOWS TO BE REPLACED WITH NEW DUAL PANE, LOW-E STOREFRONT WINDOWS AND SINGLE FRENCH SWINGING DOOR, EXISTING OPENING SIZE TO REMAIN THE SAME, DARK BRONZE FRAME FINISH.
- 04 EXISTING ALCOVE TO BE REMOVED, NEW WALL WITH DOUBLE FRENCH DOORS, DUAL PANE, LOW-E GLASS WITH DECORATIVE METAL GRILL.

- 05 EXISTING CLEAR-STORY WINDOWS TO BE REPLACED WITH NEW DUAL PANE, LOW-E STOREFRONT WINDOWS, EXISTING SILL TO BE LOWERED TO MATCH ADJACENT WINDOWS, DARK BRONZE FRAME FINISH.
- 06 EXISTING METAL EXIT DOOR TO REMAIN.
- 07 EXISTING METAL AWNING TO REMAIN.
- 08 EXISTING METAL GRILL TO REMAIN.
- 09 EXISTING WINDOW TO REMAIN.
- 10 NEW RESTAURANT SIGNAGE, TO BE INSTALLED BY SIGNAGE CONTRACTOR.

- 11 NEW FABRIC AWNING, COLOR: PURPLE, BY OWNER, CAL FIRE REGISTERED FLAME RESISTANT PRODUCT, NO. F-85401
- 12 NEW DECORATIVE DOOR CASING, TO MATCH DOOR STYLE, BY OWNER.
- 13 NEW DECORATIVE WROUGHT IRON RAILING, 36" HEIGHT, DESIGN BY MANUFACTURER.
- 14 NEW DECORATIVE WROUGHT IRON SWING GATE, 36" WIDTH, DESIGN BY MANUFACTURER.
- 15 NEW WALL SCONCE, RLM GLOBE 24" HIGH, GLOSS BLACK ALUMINUM, 8'-0" A.F.F., 12" DIAMETER BULB, SEE SPECS ON SHEET A600

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**KEYNOTES**

**GENERAL NOTES**



SMOOTH SAND-FINISH  
STUCCO, COLOR:  
SW 7006 - EXTRA WHITE

DOUBLE FRENCH DOORS,  
DUAL PANE, LOW-E GLASS  
WITH DECORATIVE METAL  
GRILL, COLOR: GOLDEN, SEE  
MANUFACTURER DETAILS.

FABRIC AWNING,  
SUNBRELLA  
COLOR: CONCORD.  
CAL FIRE REGISTERED FLAME  
RESISTANT PRODUCT,  
NO. F-85401

SANTA MONICA BLVD





**sda**  
CREATIVE STUDIO

4195 Chino Hills Pkwy, Suite 599  
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Contact: Keyur Manu  
714.390.0525  
kmanu@sajidesign.com

Client:  
**Gregg Strumpf**

9737 S. Santa Monica Blvd,  
Beverly Hills, CA 90201  
gregg@calagency.net  
908.590.2026

Project:  
**VELVEPIE**  
café and tea house

9737 S. Santa Monica Blvd,  
Beverly Hills, CA 90201

Residence:  
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Project No: 210524  
Issue Date: 05.24.2021  
Scale: As Noted  
Drawn By: JKM  
Sheet Size: 24" x 36"

If sheet is less than size indicated above, file to be a reduced print. Reduce scale accordingly.

Sheet:  
**Proposed  
Perspective  
Rendering**

**A403**

**PROPOSED PERSPECTIVE RENDERING**

SCALE:  
1/4" = 1'-0"

**1**







ENTRY POINT AS SEEN FROM 9732

SCALE:  
N.T.S.

6



ADJACENT 9701 BLDG. UNDER REMODELING

SCALE:  
N.T.S.

5



EXISTING ENTRY TO PROPERTY

SCALE:  
N.T.S.

3



FACADE AS SEEN FROM 9732 "BEVERLY HILLS CAR RENTAL"

SCALE:  
N.T.S.

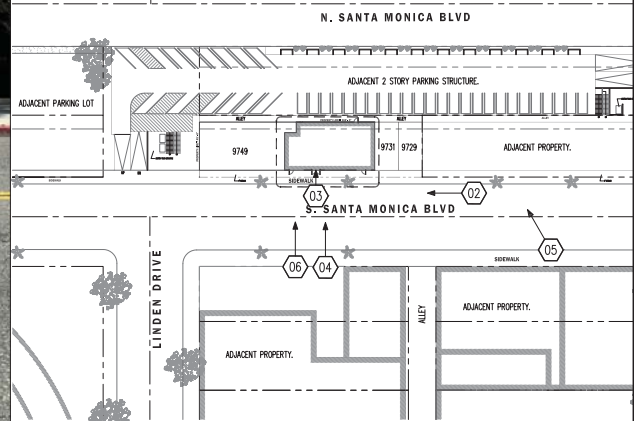
4



ADJACENT BLDG. 9701 UNDER REMODELING

SCALE:  
N.T.S.

2



REFERENCE SITE MAP

SCALE:  
N.T.S.

1

**sda**  
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**Gregg Strumpf**

9737 S. Santa Monica Blvd,  
Beverly Hills, CA 90201  
gregg@callegacy.net  
908.590.2026

Project:  
**VILVERIE**  
café and tea house

9737 S. Santa Monica Blvd,  
Beverly Hills, CA 90201

Residence:  
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Drawn By: JMM  
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Sheet:  
**Exterior Photo Montage**

**A801**





S A N T A M O N I C A B L V D

**sda**  
CREATIVE STUDIO

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Chino Hills, CA 91709

Contact: Keyur Manu  
714.390.0525  
kmanu@sajidesign.com

Client:

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Beverly Hills, CA 90201

gregg@callegacy.net  
908.590.2026

Project:

**VELVERIE**  
café and tea house

9737 S. Santa Monica Blvd,  
Beverly Hills, CA 90201

Residence:

Stamp:



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Project No 210524

Issue Date 05.24.2021

Scale As Noted

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Sheet Size 24" x 36"

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Sheet:

**Panoramic  
Street View**

**EXISTING STREET PANORAMIC VIEW**

**SCALE:**  
N.T.S.

**1**

**A802**



Client:

**Gregg Strumpf**

9737 S. Santa Monica Blvd,  
Beverly Hills, CA 90201

gregg@callegacy.net  
908.590.2026

Project:

**VELVERIE**  
café and tea house

9737 S. Santa Monica Blvd,  
Beverly Hills, CA 90201

Residence:

Stamp:



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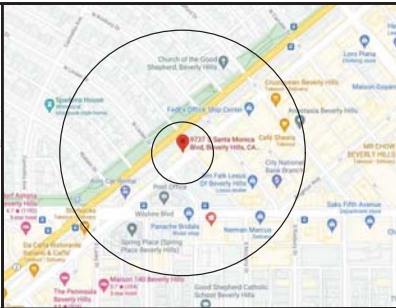
If sheet is less than size indicated above, file to be a reduced print. Reduce scale accordingly.

Sheet:

**Color & Material Board**

**A900**

A.F.F.	Above Finish Floor		Align
CTR.	Counter		Orientation
DED	Dedicated		
DOC	Document		
EXIST.	Existing		+10'-0" A.F.F. Ceiling Height
O.C.	On Center		
SQ.FT.	Square Foot		Detail Symbol
SIM.	Similar		Detail Sheet
TYP.	Typical		Cut symbol
U.N.O.	Unless Noted Otherwise		
w/	With		Electrical Panel



<b>CODE SUMMARY</b>	
Project Address:	9737 S Santa Monica Blvd. Beverly Hills, CA 90210
APN:	4343-023-004
Legal Description:	BEVERLY SW 162 FT OF NW 35 FT OF SE 40 FT OF LOT BLK J
Existing Construction Type:	V-B
New Construction Type:	V-B
Zone:	C-3
Use:	Commercial
Use Code:	Com Low Gen
Parcel Area:	0.13 Acres
Sprinklered:	No
Occupancy:	A-2: Restaurant
Existing Tenant Area:	3,190 sq.ft.

**SECTION 3105 AWNINGS AND CANOPIES**

**3105.1 General.** Awnings or canopies shall comply with the requirements of this section and other applicable sections of this code.

**3105.2 Definition.** The following term shall, for the purposes of this section and as used elsewhere in this code, have the meaning shown herein.

**RETRACTABLE AWNING.** A retractable awning is a cover with a frame that retracts against a building or other structure to which it is entirely supported.

**3105.3 Design and construction.** Awnings and canopies shall be designed and constructed to withstand wind or other lateral loads and live loads as required by Chapter 16 with due allowance for shape, open construction and similar features that relieve the pressures or loads. Structural members shall be protected to prevent deterioration. Awnings shall have frames of noncombustible material, fire-retardant-treated wood, wood of Type IV size, or 1-hour construction with combustible or noncombustible covers and shall be either fixed, retractable, folding or collapsible.

**3105.4 Canopy materials.** Canopies shall be constructed of a rigid framework with an approved covering that meets the fire propagation performance criteria of NFPA 701 or has a flame spread index not greater than 25 when tested in accordance with ASTM E 84 or UL 723. All fabrics and all interior decorative fabrics or materials shall be flame resistant in accordance with appropriate standards set forth in CCR, Title 19, Division 1, Chapter 8. Tops and sidewalls shall be made either from fabric which has been flame resistant treated with an approved exterior chemical process by an approved application concern, or from inherently flame resistant fabric approved and listed by the State Fire Marshal (see CCR, Title 19, Division 1, Chapter 8).

**3202.2.3 Awnings.** The vertical clearance from the public right-of-way to the lowest part of any awning, including valances, shall be 7 feet (2134 mm) minimum.



**SYMBOLS & ABBREVIATIONS**

**VICINITY MAP**

**GENERAL NOTES**

1. ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF LOCAL BUILDING CODE OR THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE, WHICHEVER IS MORE STRICT.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE BEFORE COMMENCEMENT OF WORK AND SHALL REPORT ANY ERRORS, OMISSIONS OR DISCREPANCIES TO THE PROJECT ARCHITECT AND/OR ENGINEERS.
3. DETAILS OF CONSTRUCTION NOT SPECIFICALLY SHOWN SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAILS SHOWN FOR SIMILAR CONDITIONS AND MATERIALS.
5. NO FIELD WELDING WILL BE DONE FOR THIS PROJECT.
6. ALL WELDING IS DONE AT CERTIFIED WELDING MANUFACTURER.

All Fabrication and Installation to be Performed by:

**Superior Awnings**  
14555 Titus Street  
Van Nuys, CA 91402  
Tel: (800) 780-0201  
www.superiorawning.com

**3105.3 Design and construction.** Awnings and canopies shall be designed and constructed to withstand wind or other lateral loads and live loads as required by Chapter 16 with due allowance for shape, open construction and similar features that relieve the pressures or loads. Structural members shall be protected to prevent deterioration. Awnings shall have frames of noncombustible material, fire-retardant-treated wood, wood of Type IV size, or 1-hour construction with combustible or noncombustible covers and shall be either fixed, retractable, folding or collapsible.

<b>SHEET INDEX</b>	<b>GENERAL NOTES</b>
GN000 - Vicinity, Summary, Notes, Symbols A101 - Site Plan A102 - Elevations S101 - Framing Axonometric S102 - Section, Detail	<ol style="list-style-type: none"> <li>1 - Contractor shall check and verify all dimensions, conditions, notes, and specifications at job site and shall report any and all discrepancies prior to bid and starting work.</li> <li>2 - If certain information is noted on the plans or only in the specifications, then that information will be as valid as if noted on both plans and specifications.</li> <li>3 - Do not scale drawings. Noted scales are for general reference only. Contractor shall verify all dimensions at the job site and shall not rely solely on scaling for bidding purposes. Verify that all noted scales match field conditions prior to proceeding. Noted dimensions shall take precedence. If discrepancies exist, large scale details govern over small</li> <li>4 - Dimensions are shown to finish face, column grid, and face of concrete masonry walls, unless otherwise noted.</li> </ol>

**Engineer:**

**Cerenico G. Madrona, PE**  
Trimar Engineering  
7868 De Soto Avenue  
Canoga Park, CA 91304

**SCOPE OF WORK**

2 NEW AWNINGS OVER EXISTING BUILDING STOREFRONT.

TYPE V-B CONSTRUCTION

**3105.3 Design and construction.** Awnings and canopies shall be designed and constructed to withstand wind or other lateral loads and live loads as required by Chapter 16 with due allowance for shape, open construction and similar features that relieve the pressures or loads. Structural members shall be protected to prevent deterioration. Awnings shall have frames of noncombustible material, fire-retardant-treated wood, wood of Type IV size, or 1-hour construction with combustible or noncombustible covers and shall be either fixed, retractable, folding or collapsible.

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**BUILDING DEPARTMENT NOTES**

All work shall comply with the 2019 California Building Code, the 2019 California Electrical Code, the 2019 California Plumbing Code, the 2019 California Mechanical Code, and the 2019 California Fire Code.

**3102.3 Type of Construction.** Non-combustable membrane structures shall be classified as Type IIB construction. Non-combustable frame or cable-supported structures covered by an approved membrane in accordance with Section 3102.3.1 shall be classified as Type IIB construction.

**3202.2.3 Awnings.** The vertical clearance from the public right-of-way to the lowest part of any awning, including valances, shall be 7 feet (2134 mm) minimum.

**VELVERIE RESTAURANT AWNING**  
9737 S Santa Monica Blvd.  
Beverly Hills, CA 90210

ISSUE 06/04/2021  
RE-ISSUE

SCALE As Noted

**GN-000**

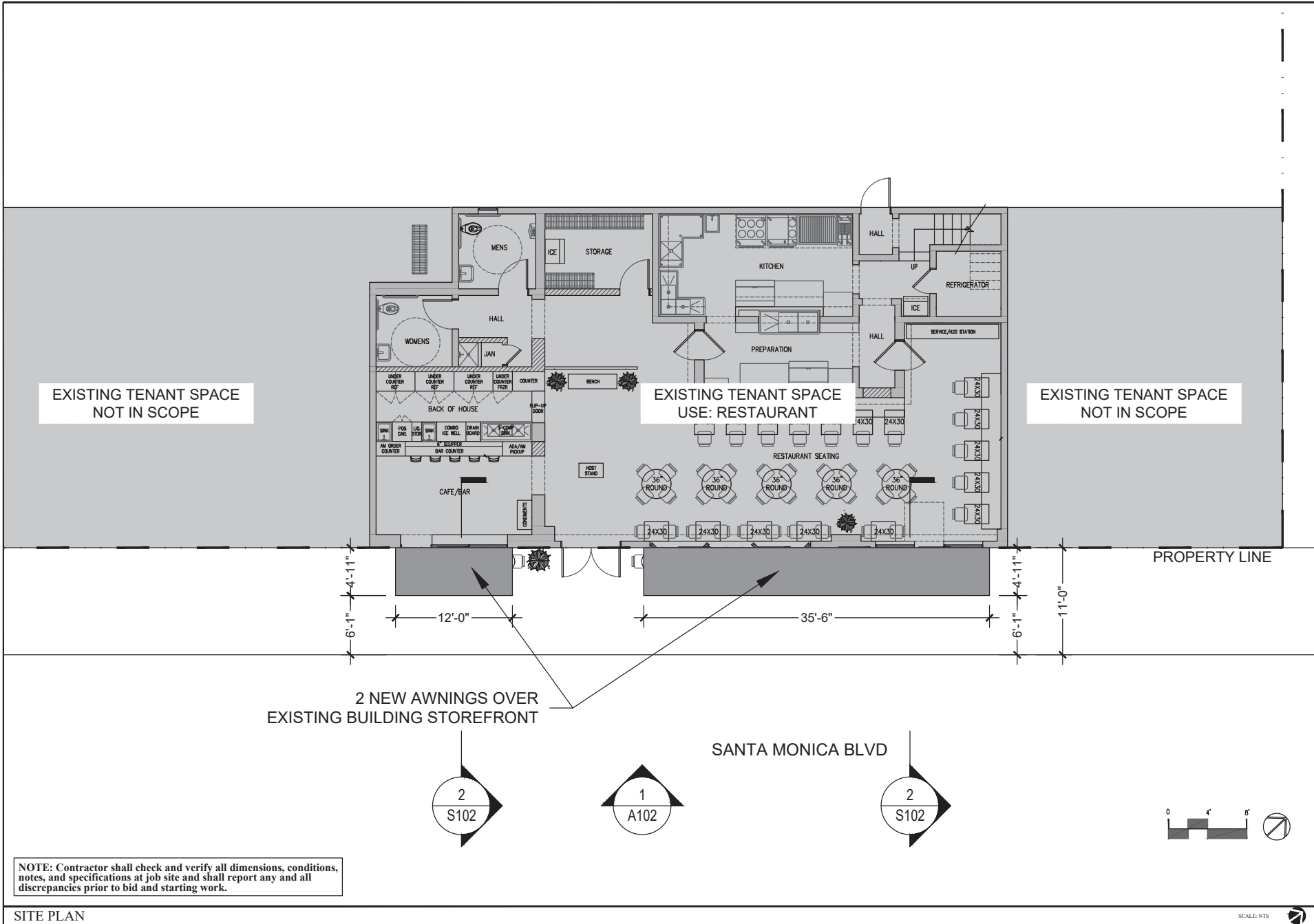




(800) 780-0201  
 14555 Titus Street  
 Van Nuys, CA 91402

www.superiorawning.com

VELVERIE RESTAURANT  
 AWNING  
 9737 S Santa Monica Blvd.  
 Beverly Hills, CA 90210



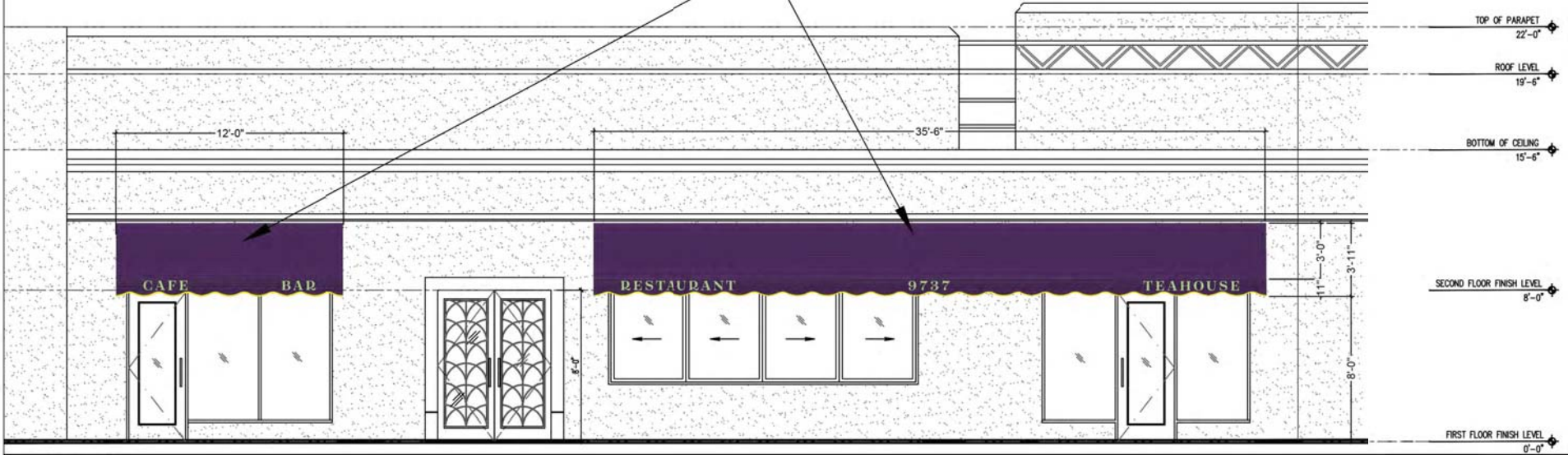
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ISSUE 06/04/2021  
 RE-ISSUE  
 SCALE As Noted

A-101

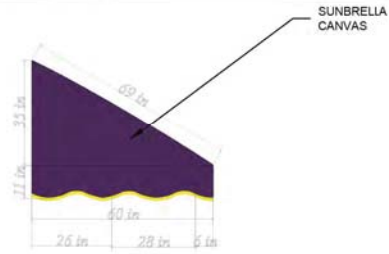
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2 NEW AWNINGS OVER EXISTING BUILDING STOREFRONT



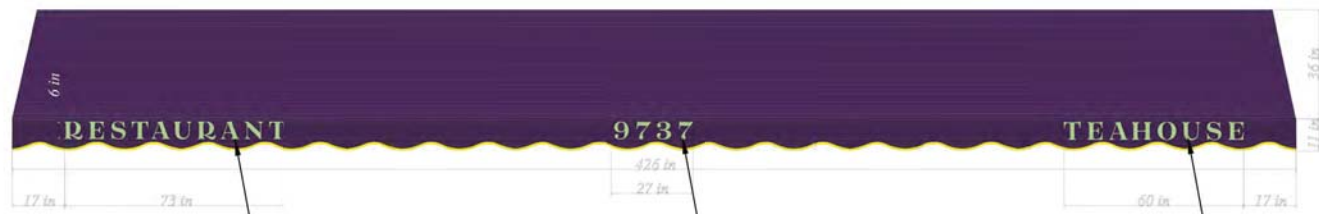
1-ELEVATION

SCALE: NTS



VINYL GRAPHICS COVERING 1.2 sq.ft

VINYL GRAPHICS COVERING 1.0 sq.ft



VINYL GRAPHICS COVERING 3.0 sq.ft

VINYL GRAPHICS COVERING 1.1 sq.ft

VINYL GRAPHICS COVERING 2.5 sq.ft

AWNING ELEVATIONS

SCALE: NTS